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Appendix 24-A

County Road System - Guidelines

<i>Road Classification</i>	<i>Right-of-Way</i>	<i>Road Surface</i>	<i>Average Daily Traffic Count</i>	<i>Number of Travel Lanes</i>	<i>Travel Lane Width</i>	<i>Shoulder Width</i>	<i>Number of Drainage Ditches</i>	<i>Drainage Ditch Top Width (min)</i>	<i>Median Width</i>	<i>Bike Lane Width</i>	<i>Minimum Sidewalk Width</i>	<i>Minimum Design Speed</i>	<i>Minimum Centerline Radius</i>	<i>Maximum Grade</i>	<i>Number of Residential Driveways per Mile</i>
RURAL ROAD															
Local Unpaved	60'	Gravel	0-200	2	13'	none	2	17'	none	none	none	30 mph	300'	6%	One access per lot
Local Paved	60'	Paved	201-500	2	12'	4' gravel	2	14'	none	none	none	30 mph	300'	6%	One access per lot
Collector	80'	Paved	501-1000	2	12'	6' paved	2	16'	16' as required	none	none	45 mph	1100'	5%	6
Arterial	140'	Paved	1001 +	4	12'	6' paved	2	19'	16' as required	none	none	55 mph	1650'	4%	none see notes
URBAN ROAD															
Local	60'	Paved	0-500	2	12'	8' parking	TBD	18'	none	?	5'	25 mph	100'	6%	One access per lot
Collector	80'	Paved	501-1000	2	12'	12' turn lane as required	TBD	18'	16' as required	?	5'	35 mph	450'	5%	6
Arterial	140'	Paved	1001 +	4	12'	12' turn lane as required	TBD	18'	16' as required	6'	6'	45 mph	800'	4%	none

Appendix 24-A establishes minimum standards for County roads. These standards shall be considered minimum unless more stringent standards are established by the Board of County Commissioners or this Ordinance.

Additional right-of-way or easement may be required for stormwater/drainage.

Weld County generally follows the published policies and standards set forth in the Colorado Division of Highways Roadway Design Manual and the American Association of State Highway and Transportation Officials Geometric Design of Highways and Streets.

Individual site restrictions may necessitate more stringent standards. Individual sites shall be evaluated by the Department of Public Works. In urban areas, the shoulder is replaced by/with curb, gutter, sidewalk, bike lanes and landscaping areas.

Residential Driveways to an arterial will be allowed when no other option is available. The developer must provide a turnaround on site to prevent backing onto the arterial. Super-elevation will be required with $e = 0.04$ maximum for the minimum centerline radius.

All subdivisions within Regional Urbanization Areas or Urban Growth areas will use the Urban Road guidelines or the appropriate municipal standards, whichever are more restrictive.

(Weld County Code Ordinance 2006-2; Weld County Code Ordinance 2009-8)

APPENDIX 24-C

MAJOR SUBDIVISION FINAL PLAT
CERTIFICATES AND SEALS

A. Certificate of Dedication, Ownership and Maintenance:

Know all men by those presents that _____ being the Owner(s), Mortgagee or Lienholder of certain lands in Weld County, Colorado, described as follows: Beginning _____ containing _____ acres, more or less, have by these presents laid out, platted and subdivided the same into lots, as shown on this plat, under the name and style of _____ and do hereby dedicate to the Board of County Commissioners, public, school district, owners and future owners of this subdivision all ways, public rights-of-way, easements, parks and open space, and other public rights-of-way and easements for purposes shown hereon.

Executed this ____ day of _____, A.D., 20 ____.

(Owner, Mortgagee, or Lienholder)

Typed or printed name

State of Colorado)
) ss.
County of Weld)

The foregoing dedication was acknowledged before me this ____ day of _____, 20 ____.

My commission expires _____

Witness my hand and Seal.

Notary Public

B. Surveying Certificate:

I, _____, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey represented by this plat was made under my personal supervision and checking. I further certify that the survey and this plat comply with all applicable rules, regulations and laws of the State of Colorado, State Board of Registration for Professional Engineers and Professional Land Surveyors, and Weld County.

By: _____
Registered Land Surveyor

Date

C. Certificate of Approval by the Board of County Commissioners:

This plat is approved by the Board of County Commissioners of Weld County, State of Colorado. Approval of this plat does not constitute acceptance of any dedication.

Witness my hand and the corporate seal of Weld County this ____ day of _____, A.D., 20 ____.

Chair, Board of County Commissioners

ATTEST:
Weld County Clerk to the Board

By: _____
Deputy Clerk to the Board

Date

APPENDIX 24-D

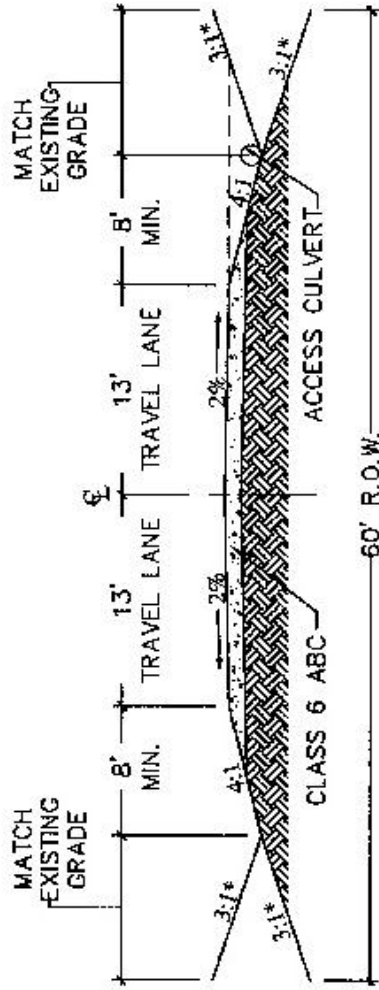
DESIGN GUIDELINES FOR NEW ROAD CONSTRUCTION

(Repealed by Weld County Code Ordinance 2007-1)

APPENDIX 24-E

ROADWAY CROSS-SECTIONS

APPENDIX 24-F



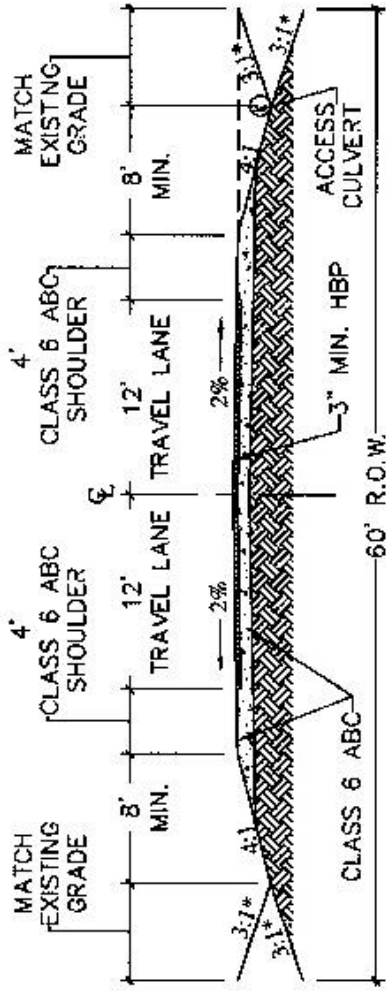
RURAL LOCAL
UNPAVED
TYPICAL SECTION

* MAX SLOPE SHALL BE 4:1 (+/-) WITHIN SUBDIVISIONS. INSTALL DITCH AS SHOWN OR AS NECESSARY TO CONVEY 10-YR DESIGN STORM FLOWS

- NOTES:
1. DEPTH OF ABC AND SUBGRADE PER WELD COUNTY CODE SEC. 8-6-150
 2. MIN. CULVERT DIAMETER = 15" (WALL THICKNESS AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS AND AVAILABLE COVER)

APPENDIX 24-E (CONT.)

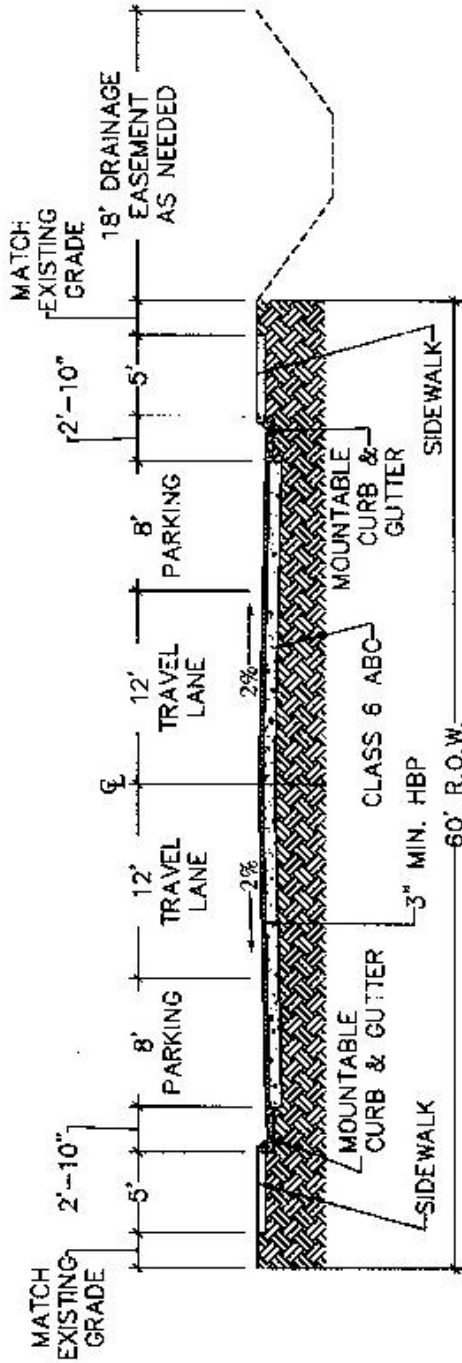
* MAX SLOPE SHALL BE 4:1 (+/-) WITHIN SUBDIVISIONS. INSTALL DITCH AS SHOWN OR AS NECESSARY TO CONVEY 10-YR DESIGN STORM FLOWS



RURAL LOCAL
PAVED
TYPICAL SECTION

NOTES:
1. DEPTH AND INSTALLATION OF HBP & ABC PER APPROVED PAVEMENT DESIGN
2. MIN. CULVERT DIAMETER = 15" (WALL THICKNESS AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS AND AVAILABLE COVER)

APPENDIX 24-E (CONT.)

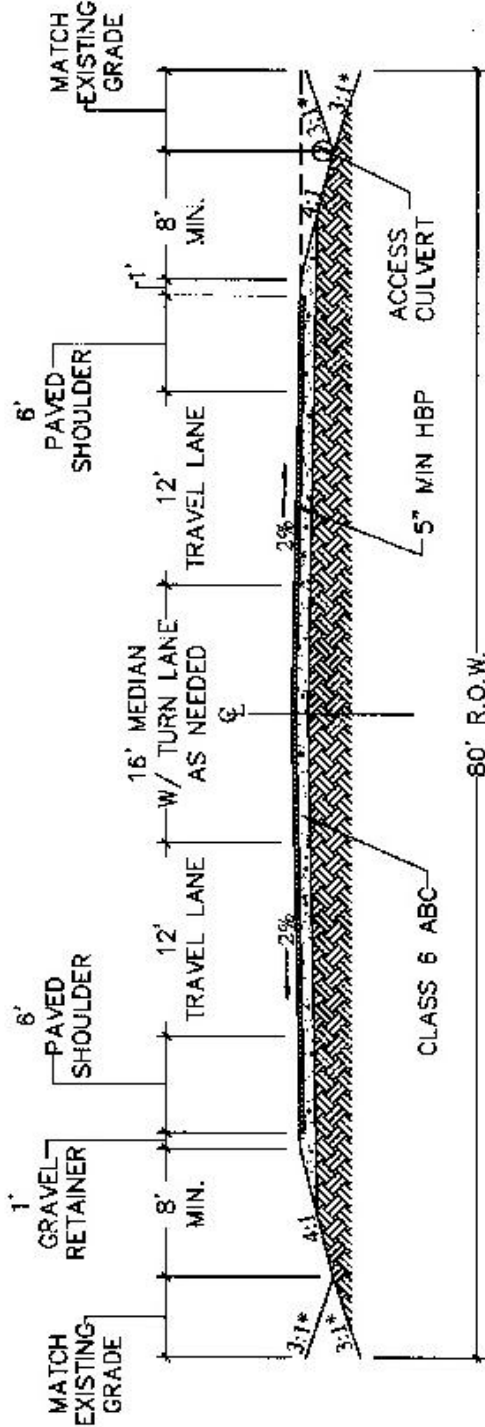


URBAN LOCAL
TYPICAL SECTION

- NOTES:
1. DEPTH AND INSTALLATION OF HBP & ABC PER APPROVED PAVEMENT DESIGN
 2. CURB & GUTTER PER CDOT STANDARD M-609-1 TYPE 2 (SECTION III)
 3. SUBGRADE FOR CURB & GUTTER AND SIDEWALK SHALL BE MOISTURE CONDITIONED AND COMPACTED PER APPLICABLE ASTM/AASHTO STANDARDS

APPENDIX 24-E (CONT.)

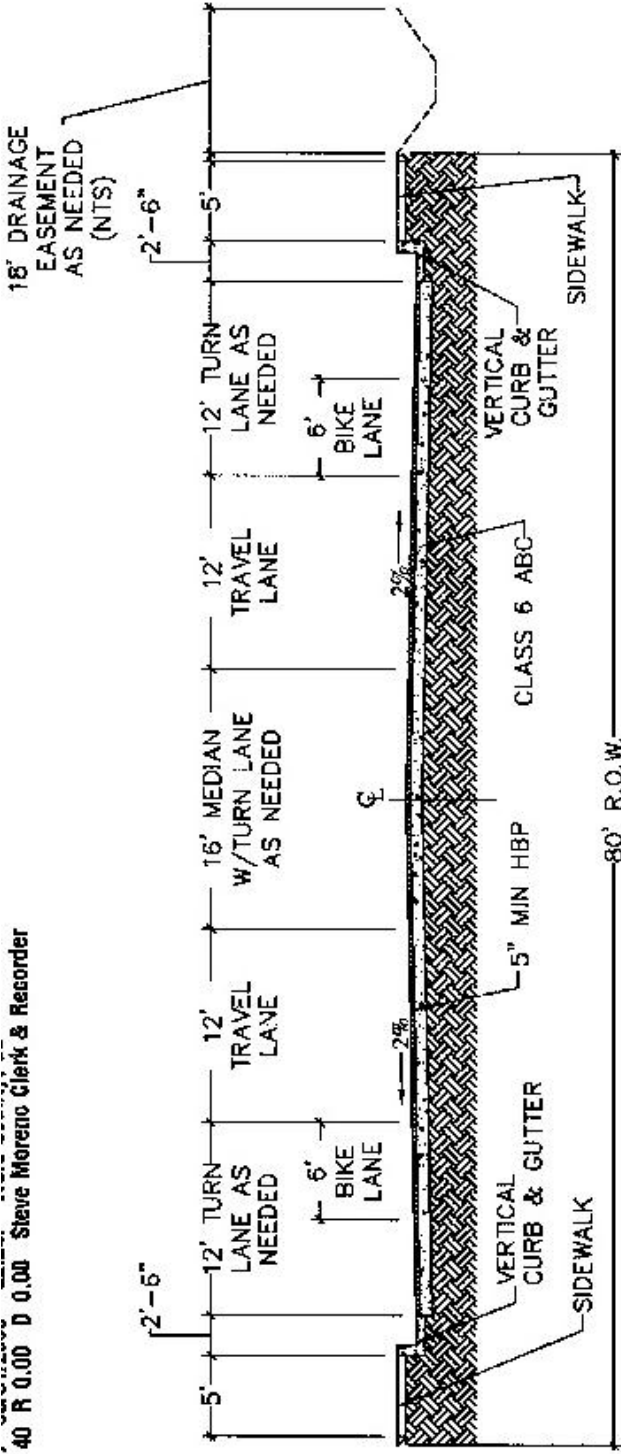
* MAX SLOPE SHALL BE 4:1 (+/-) WITHIN SUBDIVISIONS. INSTALL DITCH AS SHOWN OR AS NECESSARY TO CONVEY 10-YR DESIGN STORM FLOWS



RURAL COLLECTOR
TYPICAL SECTION

- NOTES:
1. DEPTH AND INSTALLATION OF HBP & ABC PER APPROVED PAVEMENT DESIGN
 2. MIN. CULVERT DIAMETER = 15" (THICKNESS AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS AND AVAILABLE COVER)
 3. SHOULDER SHALL BE 4' PAVED WHEN ADDITIONAL LANES ARE REQUIRED

APPENDIX 24-E (CONT.)



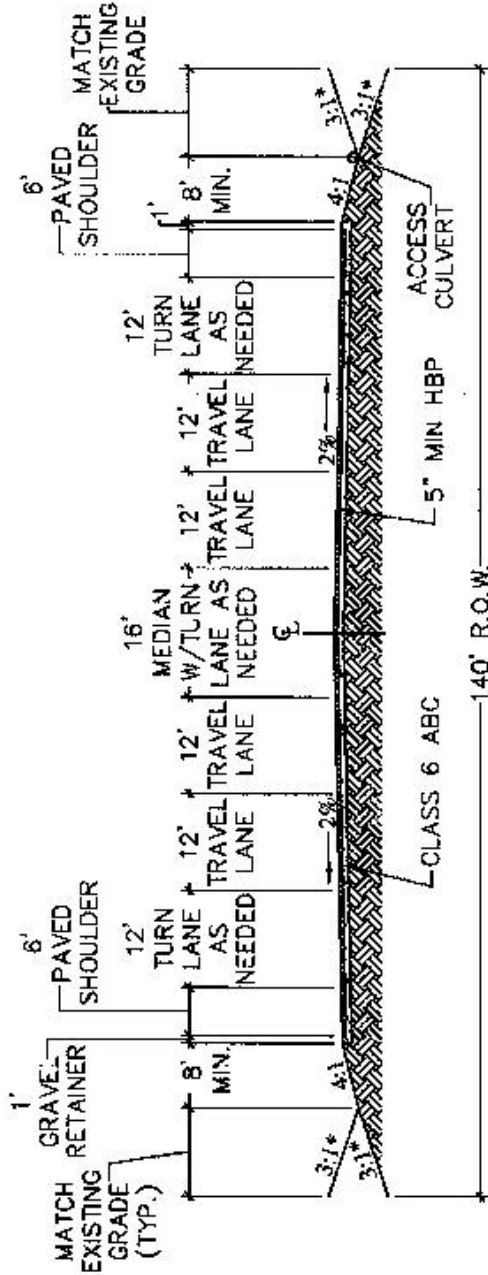
URBAN COLLECTOR
TYPICAL SECTION

- NOTES:
1. DEPTH AND INSTALLATION OF HBP & ABC PER APPROVED PAVEMENT DESIGN
 2. CURB & GUTTER PER CDOT STANDARD M-809-1 TYPE 2 (SECTION IM)
 3. SUBGRADE FOR CURB & GUTTER AND SIDEWALK SHALL BE MOISTURE CONDITIONED AND COMPACTED PER APPLICABLE ASTM/AASHTO STANDARDS
 4. DETACHED SIDEWALK REQUIRED AS SPACE PERMITS

40 R 0.00 D 0.00 Steve Moreno Clerk & Recorder

APPENDIX 24-E (CONT.)

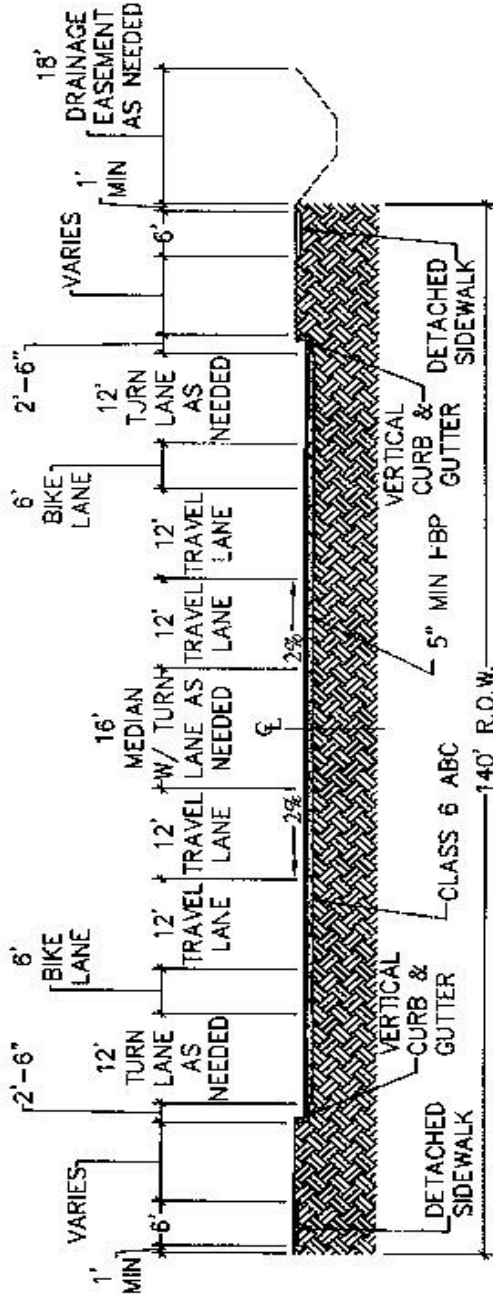
* MAX SLOPE SHALL BE 4:1 (+/-) WITHIN SUBDIVISIONS. INSTALL DITCH AS SHOWN OR AS NECESSARY TO CONVEY 10-YR DESIGN STORM FLOWS



- NOTES:
1. DEPTH AND INSTALLATION OF HBP & ABC PER APPROVED PAVEMENT DESIGN
 2. MIN. CULVERT DIAMETER = 15" (WALL THICKNESS AS REQUIRED PER MANUFACTURER'S SPECIFICATIONS AND AVAILABLE COVER)
 3. SHOULDER SHALL BE 4' PAVED WHEN ADDITIONAL LANES ARE REQUIRED

RURAL ARTERIAL TYPICAL SECTION

APPENDIX 24-E (CONT.)



URBAN ARTERIAL
TYPICAL SECTION

- NOTES:
1. DEPTH AND INSTALLATION OF FBP & ABC PER APPROVED PAVEMENT DESIGN
 2. CURB & GUTTER PER CDOT STANDARD M-609-1 TYPE 2 (SECTION 11M)
 3. SUBGRADE FOR CURB & GUTTER AND SIDEWALK SHALL BE MOISTURE CONDITIONED AND COMPACTED PER APPLICABLE ASTM/AASHTO STANDARDS
 4. HIGH-SPEED URBAN ARTERIAL SHALL OMIT CURB & GUTTER PER AASHTO, AND USE RURAL ARTERIAL PAVED SHOULDER.

APPENDIX 24-F

RECORDED EXEMPTION PLAT CERTIFICATES

The following certificate blocks shall appear on the plat, (as applicable):

1. Property Owner's Certificate:

I (We), the undersigned, being the sole owners in fee of the above described property, do hereby subdivide the same as shown on the attached map. I (We) understand this property is located in the _____ (fill in the correct zone district) zone district and is also intended to provide areas for the conduct of other uses by right, accessory uses and uses by special review.

(Signature)

(Signature)

Typed or printed name

Typed or printed name

State of Colorado)

) ss.

County of Weld)

The foregoing certification was acknowledged before me this ____ day of _____, 20_____.

My commission expires _____.

Witness my hand and Seal.

Notary Public

2. Easement Certificate: This certificate shall be used when any easement crosses any of the proposed lots of the Exemption. The plat shall also identify the benefited lot and purpose of the easement.

I (We), the undersigned, do hereby dedicate, for the benefit of the property(ies) shown or described hereon, easements for the purposes shown or described hereon.

(Signature)

(Signature)

Typed or printed name

Typed or printed name

3. Surveying Certificate:

I, _____, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey represented by this plat was made under my personal supervision, and that this plat is an accurate representation thereof. I further certify that the survey and this plat complies with all applicable rules, regulations and laws of the State of Colorado, State Board of Registration for Professional Engineers and Professional Land Surveyors, and Weld County.

By: _____
Registered Land Surveyor

Date

Colorado Registration #

4. Certificate of Approval by the Department of Planning Services - Administrative Review:

This plat is accepted and approved by the Department of Planning Services for filing.

Director, Department of Planning Services

State of Colorado)
) ss.
County of Weld)

The foregoing certification was acknowledged before me this ____ day of _____, 20 ____.

My commission expires _____.

Witness my hand and Seal.

Notary Public

5. Certificate of Approval by the Board of County Commissioners:

This plat is accepted and approved by the Board of County Commissioners of Weld County, State of Colorado.

Witness my hand and the corporate seal of Weld County this ____ day of _____ A.D., 20 ____.

Chair, Board of County Commissioners

ATTEST:

Weld County Clerk to the Board

By: _____
Deputy Clerk to the Board

Date

(Weld County Code Ordinance 2001-1; Weld County Code Ordinance 2002-9)

APPENDIX 24-G

RESUBDIVISION PLAT CERTIFICATES

Certificate of Approval by the Board of County Commissioners:

This plat is accepted and approved by the Board of County Commissioners of Weld County, State of Colorado.

Witness my hand and the corporate seal of Weld County this ____ day of _____ A.D., 20____.

Chair, Board of County Commissioners

ATTEST:

Weld County Clerk to the Board

By: _____

Deputy Clerk to the Board

Date

(Weld County Code Ordinance 2003-10)