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CDOT	Colorado Department of Transportation
DIA	Denver International Airport
DU	Dwelling Unit
FEMA	Federal Emergency Management Agency
FPD	Fire Protection District
HOV	High Occupancy Vehicle
I-25	Interstate 25
I-25 RUA	Interstate 25 Regional Urbanization Area
LOS	Level of Service
MUTCO	Manual on Uniform Traffic Control Devices
NCWCD	Northern Colorado Water Conservancy District
PUC	Public Utilities Commission
PUD	Planned Unit Development
RTD	Regional Transportation District
RUA	Regional Urbanization Area
SH	State Highway
SEWRUA	Southeast Weld Regional Urbanization Area
SUP	Special Use Permits
TDM	Transportation Demand Management
USR	Use by Special Review
WCR	Weld County Road

(Weld County Code Ordinance 2006-4; Weld County Code Ordinance 2009-8)

APPENDIX 26-B

EXISTING AND PROPOSED SERVICE PROVIDERS

Existing Service Providers in the I-25 RUA

<i>Service</i>	<i>Provider</i>
Domestic Water	Left Hand Water Supply Company, Little Thompson Valley Water District, Long's Peak Water Association, Central Weld County Water Association
Sanitation	St. Vrain Sanitation District
Gas	Public Service Company of Colorado
Electric	United Power
School	St. Vrain (RE-1J)
Law Enforcement	Weld County Sheriff's Office
Fire	Mountain View Fire Protection District
Ambulance	Tri-Town, Longmont
Highway & Roads	Colorado Department of Transportation, Weld County Department of Public Works

Proposed Service Providers in the Southeast Weld RUA

<i>Service</i>	<i>Provider</i>
Domestic Water	Pioneer Metropolitan District
Sanitation	Pioneer Metropolitan District
Gas	Public Service Company of Colorado
Electric	United Power
School	Weld County (RE-3J)
Law Enforcement	Weld County Sheriff's Office
Fire	Hudson Fire Districts, SE Weld Fire Protection District
Ambulance	Weld County Paramedic Services
Highway & Roads	Colorado Department of Transportation, Weld County Department of Public Works, Pioneer Metropolitan District

Service Providers for the Dry Creek RUA

<i>Service</i>	<i>Provider</i>
Domestic Water	TCVMD Metro District
Sanitation	TCVMD Metro District
Gas	Xcel Energy
Electric	United Power
Fiber Optic/ Comm	Qwest/Comcast
School	Weld 8 Ft. Lupton Brighton 27J
Law Enforcement	Weld County Sheriff
Fire	Brighton Fire Protection District Mountain View Fire Protection District
Ambulance	Brighton Fire Protection District
Highway & Roads	CDOT. Weld County Department of Public
Recreation	TCVMD Recreation District

(Weld County Code Ordinance 2006-4; Weld County Code Ordinance 2009-8; Weld County Code Ordinance 2010-1)

APPENDIX 26-C

STRUCTURAL LAND USE DENSITIES

I-25 RUA Structural Land Use Densities

<i>Land Use Categories</i>	<i>Density and Zoning Designation</i>
Employment Center	Higher intensity commercial and industrial mix
Regional Commercial	Medium intensity commercial and industrial mix
Neighborhood Center	Lower intensity commercial and residential mix
Residential	Residential mixed density

Southeast Weld RUA Structural Land Use Densities

<i>Land Use Categories</i>	<i>Density and Zoning Designation</i>
Commercial Centers	Limit 200,000 square foot total
Residential Neighborhoods	7,389 minimum to 12,425 maximum
Agricultural	Agricultural uses, low-density residential, primary drainage ways, mature riparian areas, floodplain and floodway overlays
Limited Site Factors	Agricultural uses, low-density residential, primary drainage ways, mature riparian areas, floodplain and floodway overlays

Projected Residential Population and Uses in Dry Creek RUA

<i>Projected Population</i>	<i>Net Acres</i>	<i>Min Density</i>	<i>Max Density</i>	<i>Min DU</i>	<i>Max DU</i>	<i>Min Population</i>	<i>Max Population</i>
Rural Estates	93	1.0	4.0	100	400	300	1,200
Suburban Residential	907	2.0	5.5	1,800	5,000	5,300	14,900
Neighborhood Mixed Use Residential	60	5.0	20.0	300	1,200	900	3,600
				2,200	6,600	6,500	19,700

* Net Acres include development and local roads

* Household Size is 2.97

Retail, Office and Commercial Program of the Dry Creek RUA

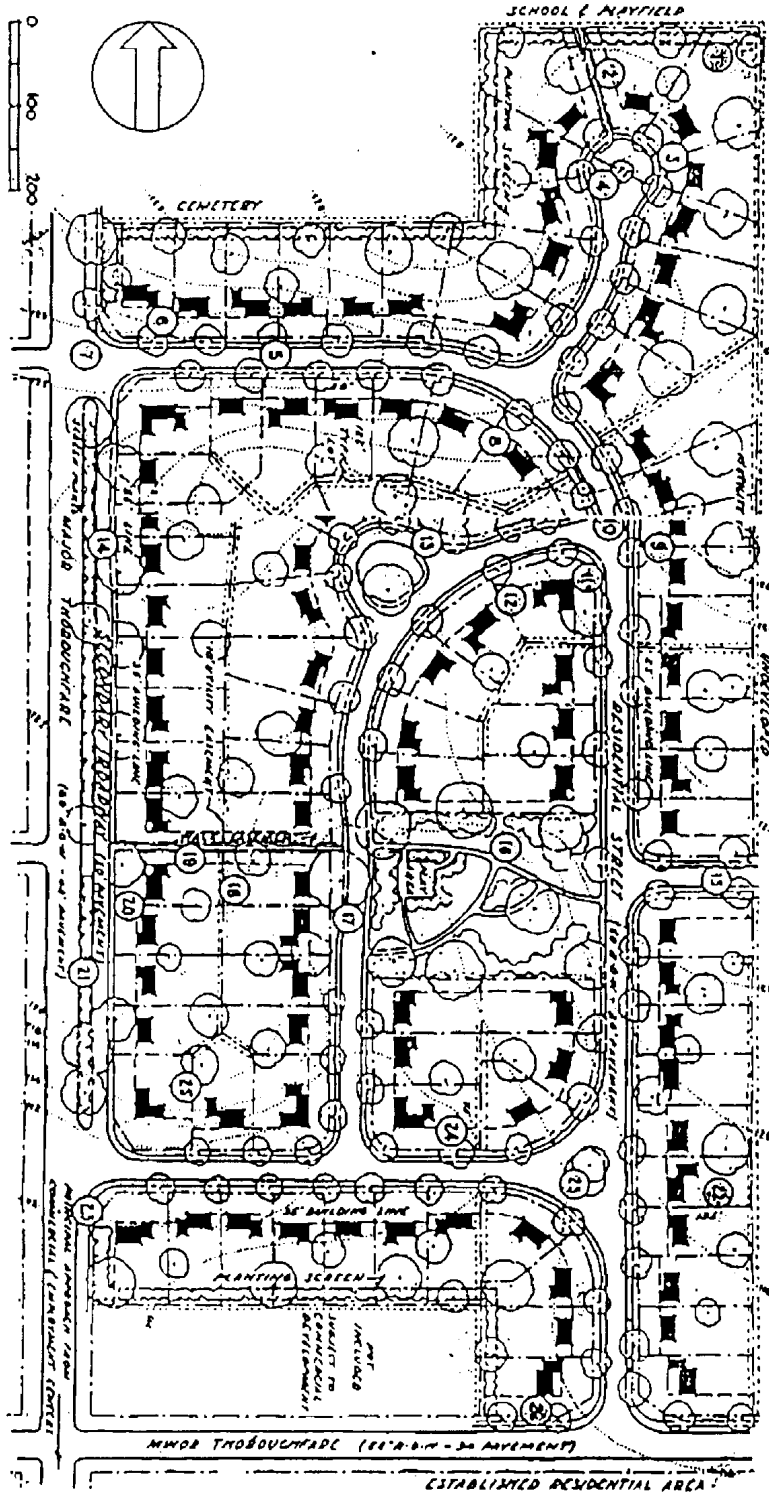
<i>Retail/Office/Commercial Program</i>	<i>Acres</i>	<i>FAR</i>	<i>Min # of Jobs</i>	<i>Max # of Jobs</i>	<i>Min Sq Ft</i>	<i>Max Sq Ft</i>
Community and Local Services (Sales Center/Day Care/Real Estate Offices, Fitness Civic Uses, etc.)	5.0	0.2	44	126	22,000	63,000
Leisure/Dining/Professional Office (Restaurant, Coffee, Ace Hardware, Fast Food, Bank, Medical/Dental Office, Local Retail, etc.)	10.0	0.2	87	249	44,000	124,000
Daytime Shopping (Sporting Goods, Bike Shop, Bookstore, Salon, Pharmacy-Walgreens, Small Grocery, Gas, etc.)		0.2	0	0	0	0
Total	15.0		131	374	66,000	187,000

* Jobs calculated as 1 per 500 sq. ft. of commercial sq. ft.

(Weld County Code Ordinance 2006-4; Weld County Code Ordinance 2009-8; Weld County Code Ordinance 2010-1)

APPENDIX 26-D

DESIGN CONSIDERATION FOR SUBDIVISIONS



1. A fifteen-foot easement for a planting screen provides protection from nonresidential use.
2. A ten-foot walk easement gives access to the school.

3. A cul-de-sac utilizes an odd parcel of land to advantage.
4. A turnaround right-of-way is one hundred (100) feet in diameter.
5. Street trees are planted approximately fifty (50) feet apart where no trees exist.
6. An additional building setback improves the subdivision entrance.
7. Street intersections at right angles reduce hazards.
8. The lot sideline is centered on the street end to avoid car lights shining into residences.
9. Residences opposite the street end are set back farther to reduce glare from car lights.
10. Three-way intersections reduce hazards.
11. Property lines are on thirty-foot radii at corners.
12. Lot lines are perpendicular to street right-of-way lines.
13. An "eyebrow" provides frontage for additional lots in a deeper portion of the block.
14. A secondary roadway eliminates the hazard of entering a major thoroughfare from individual driveways.
15. There is a provision for access to land now undeveloped.
16. A neighborhood park is located near the center of the track. Adjacent lots are wider to allow for a fifteen-foot protective sideline setback.
17. The pavement is shifted within the right-of-way to preserve existing trees.
18. Aboveground utilities are in rear-line easements.
19. A ten-foot walk easement provides access to a park. Adjacent lots are wider to allow for a fifteen-foot protective sideline setback.
20. Variation of the building line along a straight street creates interest.
21. Screen planting gives protection from noise and lights on the thoroughfare.
22. Lots backing to land outside of the subdivision are given greater depth for additional screening.
23. Low planting at street intersections permits clear vision.
24. A wider corner lot permits equal building setbacks on each street.
25. Platting of the block end avoids locating property boundaries and residences directly across the street from one another.
26. Lots are sided to the boundary street where land use across the street is different.
27. Paved sidewalks create a sense of place and allow pedestrians to move safely throughout the subdivision.

(Weld County Code Ordinance 2006-4)

APPENDIX 26-E

COMMON OPEN SPACE FOR LAND USE CATEGORIES

I-25 RUA Common Open Space for Land Use Categories

<i>Land Use Designation</i>	<i>Percent of Common Open Space Required</i>
Employment Center - High Intensity	20%
Regional Commercial - Medium Intensity	20%
Neighborhood Center - Low Intensity	20%
Residential - Mixed Intensity	20%
Limiting Site Factors - Lowest Intensity	30%

Southeast Weld RUA Common Open Space For Land Use Categories

<i>Land Use Designation</i>	<i>Percent of Common Open Space Required</i>
Commercial Centers	15%
Residential Neighborhoods	20%
Agricultural Lands	0%

(Weld County Code Ordinance 2006-4; Weld County Code Ordinance 2009-8)

APPENDIX 26-G

LISTING OF PLANT MATERIALS

The following is a partial list of plant materials that are native or adapted to Colorado's Front Range in RUAs. This is not an all-inclusive list and is intended only to act as a general resource. New plant materials are being made available on a commercial basis and local nurserymen are a valuable resource when trying to determine the appropriateness and adaptability of plant materials to a particular location.

<i>Common Name</i>	<i>Botanical Name</i>	<i>Mature Height</i>	<i>Mature Width</i>
EVERGREEN TREES			
Douglas Fir	<i>Pseudotsuga menziesii</i>	40–80 feet	10–12 feet
Eastern Red Cedar	<i>Juniperus virginiana</i>	50 feet	10–12 feet
White Fir	<i>Abies concolor</i>	30–50 feet	15–30 feet
Rocky Mountain Juniper	<i>Juniperus scopulorum</i>	4–8 feet	1–6 feet
Oneseed Juniper	<i>Juniperus monosperma</i>	40 feet	10–12 feet
Austrian Pine	<i>Pinus nigra</i>	30–40 feet	10–15 feet
Ponderosa Pine	<i>Pinus ponderosa</i>	50–60 feet	10–12 feet
Bristlecone Pine	<i>Pinus aristata</i>	20 feet	10–12 feet
Pinyon Pine	<i>Pinus edulis</i>	10–25 feet	7–15 feet
Colorado Spruce	<i>Picea pungens</i>	80–100 feet	15–25 feet
White Fir ***	<i>Abies concolor</i>	50–60 feet	20–25 feet
Bristlecone Pine ***	<i>Pinus aristata</i>	20–40 feet	15–20 feet
Limber Pine ***	<i>Pinus flexilis</i>	30–40 feet	12–15 feet
Pinyon Pine ***	<i>Pinus edulis</i>	15–25 feet	15–20 feet
Ponderosa Pine ***	<i>Pinus ponderosa</i>	50–60 feet	20–25 feet
SPREADING JUNIPERS (EVERGREENS)			
Bar Harbor Juniper ***	<i>Juniperus horizontalis</i> 'Bar Harbor'	6–8 inches	4–6 feet
Blue Chip Juniper ***	<i>Juniperus horizontalis</i> 'Blue Chip'	8–12 inches	4–6 feet
Blue Rug Juniper ***	<i>Juniperus horizontalis</i> 'Blue Rug'	4–6 inches	5–6 feet
Buffalo Juniper ***	<i>Juniperus savin</i> 'Buffalo'	12–18 inches	6–8 feet
BROADLEAF EVERGREENS / SHADE TREES			
Mountain Mahogany, curl-leaf ***	<i>Cercocarpus ledifolius</i>	10–15 feet	10–15 feet
Adam's Needle ***	<i>Yucca filamentosa</i>	2–4 feet	2–4 feet
Patmore Ash ***	<i>Fraxinus pennsylvanica</i> 'Patmore'	40–60 feet	20–40 feet
Thornless Honeylocust var 'Shademaster' ***	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	35–40 feet	30–50 feet
Linden * ***	<i>Tilia species</i>	30–60 feet	20–50 feet
Hackberry ***	<i>Celtis occidentalis</i>	40–50 feet	35–40 feet
Bur Oak ***	<i>Quercus macrocarpa</i>	40–60 feet	40–50 feet
ORNAMENTAL TREES			

Hawthorn species *	<i>Crataegus species</i>	18–25 feet	15–20 feet
Flowering Crabapple *	<i>Malus species</i>	15–30 feet	10–20 feet
Native Plum	<i>Prunus americana</i>	15–20 feet	7–10 feet
Chokecherry	<i>Prunus virginiana</i>	20–30 feet	18–25 feet
Golden Raintree	<i>Koelreuteria paniculata</i>	30–40 feet	30 feet
Callery Pear	<i>Pyrus calleryana</i>	15–25 feet	10–15 feet
Newport Plum	<i>Prunus americana 'Newport'</i>	15–20 feet	10–15 feet
Gambel Oak	<i>Quercus gambelli</i>	20–30 feet	10–15 feet
Amur Chokecherry ***	<i>Prunus maackii</i>	20–25 feet	18–20 feet
Dolgo Flowering Crabapple ***	<i>Malus 'Dolgo'</i>	25–30 feet	25–30 feet
Radiant Flowering Crabapple ***	<i>Malus 'Radiant'</i>	15–20 feet	15–20 feet
Cockspur Hawthorn ***	<i>Crataegus crusgalli 'Cockspur'</i>	15–20 feet	10–15 feet
Russian Hawthorn ***	<i>Crataegus ambigua</i>	15–20 feet	10–15 feet
American Hornbeam ***	<i>Carpinus caroliniana</i>	20–30 feet	15–20 feet
Bigtooth/Wasatch Maple ***	<i>Acer grandidentatum</i>	20–25 feet	15–20 feet
Rocky Mountain Maple ***	<i>Acer glabrum</i>	10–25 feet	10–15 feet
European Bird Cherry ***	<i>Prunus padus</i>	25–30 feet	15–20 feet
Callery Pear ***	<i>Pyrus calleryana</i>	25–30 feet	15–20 feet
Eastern Redbud ***	<i>Cercis canadensis</i>	25–35 feet	15–20 feet
DECIDUOUS TREES			
Green Ash	<i>Fraxinus pennsylvanica lanceolata</i>	50–60 feet	25–30 feet
Autumn Purple Ash	<i>Fraxinus americana</i>	50–80 feet	25–40 feet
Western Catalpa	<i>Catalpa speciosa</i>	40–60 feet	20–30 feet
Common Hackberry	<i>Celtis occidentalis</i>	40–60 feet	20–30 feet
Honeylocust species	<i>Gleditsia triacanthos 'inermis'</i>	30–70 feet	30–70 feet
Bur Oak	<i>Quercus macrocarpa</i>	70–80 feet	50–60 feet
Common Horsechestnut	<i>Aesculus hippocastanum</i>	50–75 feet	40–60 feet
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>	60–75 feet	40–50 feet
SMALL SHRUBS			

Snowberry ***	<i>Symphoricarpos alba</i>	3–5 feet	3–10 feet
Barberry species *	<i>Berberis species</i>	2–6 feet	2–8 feet
Bush Cinquefoil *	<i>Potentilla fruticosa species</i>	2–4 feet	1–3 feet
Hancock Coralberry	<i>Symphocarpus orbiculatus 'Hancock'</i>	2–5 feet	4–8 feet
Cotoneaster species *	<i>Cotoneaster species</i>	1–6 feet	1–6 feet
Alpine Currant ***	<i>Ribes alpinum</i>	3–6 feet	4–5 feet
Euonymus species *	<i>Euonymus species</i>	1–6 feet	7 feet
Oregon Grape	<i>Mahonia aquifolium</i>	3–6 feet	3–5 feet
Juniper species	<i>Juniperus species</i>	1–16 feet	2–20 feet
Mountain Ninebark	<i>Physocarpus monogynus</i>	3–4 feet	3–4 feet
Sage species *	<i>Artemisia species</i>	1–2 feet	1–2 feet
Spiraea species *	<i>Spiraea species</i>	2–6 feet	1–6 feet
Leadplant ***	<i>Amorpha canescens</i>	2–4 feet	2–4 feet
Littleleaf Mountain Mahogany ***	<i>Cercocarpus intricatus</i>	2–4 feet	2–3 feet
Pygmy Peashrub ***	<i>Caragana pygmaea</i>	3–4 feet	3–5 feet
Silver Sage ***	<i>Artemisia cana</i>	1–4 feet	2–3 feet
Mormon Tea ***	<i>Ephedra spp.</i>	3–6 feet	3–6 feet
Blue Mist/Blue Beard Spiraea ***	<i>Caryopteris x clandonensis</i>	3–5 feet	3–5 feet
MEDIUM SHRUBS			
Apache Plume ***	<i>Fallugia paradoxa</i>	3–5 feet	3–5 feet
Golden Currant ***	<i>Ribes aureum</i>	4–6 feet	4–6 feet
Fernbush ***	<i>Chamaebatiaria millifolium</i>	3–5 feet	3–6 feet
Buffalo Berry	<i>Sheperdia canadensis</i>	6–8 feet	3–9 feet
Cistena Cherry	<i>Prunus cistena</i>	7–10 feet	5–8 feet
Red Osier Dogwood	<i>Cornus stolonifera</i>	7–9 feet	7 feet
Forsythia species *	<i>Forsythia species</i>	8–10 feet	10–12 feet
Mountain Mahogany	<i>Cercocarpus ledifolius</i>	5–12 feet	5–12 feet
Honeysuckle species **	<i>Lonicera species</i>	4–10 feet	6–8 feet
Austrian Copper Rose	<i>Rosa foetida bicolor</i>	4–5 feet	4–5 feet
Rugosa Rose **	<i>Rosa rugosa</i>	3–8 feet	2–5 feet
Sumac species *	<i>Rhus species</i>	3–10 feet	3–6 feet
Viburnum species *	<i>Viburnum species</i>	4–8 feet	3–6 feet
Rabbitbrush ***	<i>Chrysothamnus nauseosus</i>	3–5 feet	3–5 feet
Western Sand Cherry ***	<i>Prunus besseyi</i>	3–6 feet	3–6 feet
Vanhoutte Spiraea ***	<i>Spiraea x vanhoutte</i>	4–5 feet	4–6 feet
Three-leaf Sumac ***	<i>Rhus trilobata</i>	4–6 feet	4–6 feet
Boulder Raspberry ***	<i>Rubus deliciosus</i>	4–6 feet	4–6 feet
LARGE SHRUBS			

Arnold Red Honeysuckle ***	<i>Lonicera tatarica 'Arnold Red'</i>	8–10 feet	8–10 feet
Lilac * ***	<i>Syringa spp. and hybrids</i>	8–12 feet	8–12 feet
Common Buckthorn	<i>Rhamnus cathartica</i>	18–25 feet	15–25 feet
Siberian Peashrub	<i>Caragana arborens</i>	15–20 feet	12–18 feet
Cornelian Cherry Dogwood (Tree Variety)	<i>Cornus mas</i>	20–25 feet	15–20 feet
Privet species *	<i>Ligustrum species</i>	12–15 feet	12–15 feet
Serviceberry	<i>Amelanchier laevis</i>	8–15 feet	6–12 feet
Blue Stem Willow	<i>Salix purpurea</i>	10–18 feet	7–15 feet
Red Twig Dogwood ***	<i>Cornus sericea</i>	6–10 feet	6–10 feet
Yellowtwig Dogwood ***	<i>Cornus sericea 'Flaviramea'</i>	6–10 feet	6–10 feet
Mockorange * ***	<i>Philadelphus species</i>	6–8 feet	6–8 feet
Viburnum * ***	<i>Viburnum species</i>	8–15 feet	8–15 feet
GRASSES			
Big Bluestem ***	<i>Andropogon gerardii</i>	5–6 feet	4–6 feet
Little Bluestem ***	<i>Andropogon scoparium</i>	2–3 feet	1–2 feet
Dwarf Fountain Grass ***	<i>Pennisetum alopecuroides</i>	2–3 feet	2–3 feet
Maiden or Miscanthus Grass ***	<i>Miscanthus sinensis</i>	3–8 feet	2–5 feet
Miscanthus Grass ***	<i>Phalaris arundinacea 'Picta'</i>	12–15 inches	3–4+ feet
Switch Grass ***	<i>Panicum virgatum</i>	3–5 feet	3–4 feet

*Depending on cultivar/species

**Highly invasive

***These plant materials readily adapt to the conditions found in the Rocky Mountain region. With the wide range of altitudes, microclimates and soil conditions, not every plant is suitable or hardy in all locations.

**DRY CREEK RUA:
ADAPTABLE AND NATIVE PLANTING LIST
FOR RESIDENTIAL LANDSCAPING AND NATURAL OPEN SPACE RESTORATION**

TREES AND SHRUBS			
<i>Common Name</i>	<i>Botanical Name</i>	<i>Mature Height</i>	<i>Mature Width</i>
<i>Riparian Trees:</i>			
Plains Cottonwood	<i>Populus deltoides ssp. monilifera</i>	60–80 feet	40–50 feet
Peachleaf Willow	<i>Salix amygdaloides</i>	60–80 feet	60–80 feet
<i>Riparian Shrubs:</i>			
Lead Plant	<i>Amorpha fruticosa</i>	2–4 feet	2–4 feet
Woods Rose	<i>Rosa woodsii</i>	2–4 feet	2–4 feet
Coyote Willow	<i>Salix exigua</i>	5–10 feet	5–10 feet
<i>Upland Shrubs:</i>			
Four-winged Saltbush	<i>Atriplex canescens</i>	2–4 feet	2–4 feet
White Squaw Currant	<i>Ribes cereum</i>	2–4 feet	2–4 feet
Western Snowberry	<i>Symphoricarpos occidentalis</i>	2–4 feet	2–4 feet

WILDFLOWERS			
<i>Common Name</i>	<i>Botanical Name</i>	<i>Mature Height</i>	<i>Mature Width</i>
Western Yarrow	<i>Achillea lanulosa</i>	1–2 feet	1–2 feet
Dotted Gayfeather	<i>Liatris punctata</i>	1–2 feet	1–2 feet
Blue Flax	<i>Linum lewisii</i>	1–2 feet	1–2 feet
Streamside Bluebells	<i>Mertensia ciliata</i>	1–2 feet	1–2 feet
White Evening Primrose	<i>Oenothera pallida</i>	1–2 feet	1–2 feet
Rocky Mtn. Penstemon	<i>Penstemon strictus</i>	1–2 feet	1–2 feet
Prairie Coneflower	<i>Ratibida columnifera</i>	1–3 feet	1–3 feet
Black-Eyed Susan	<i>Rudbeckia hirta</i>	1–3 feet	1–3 feet

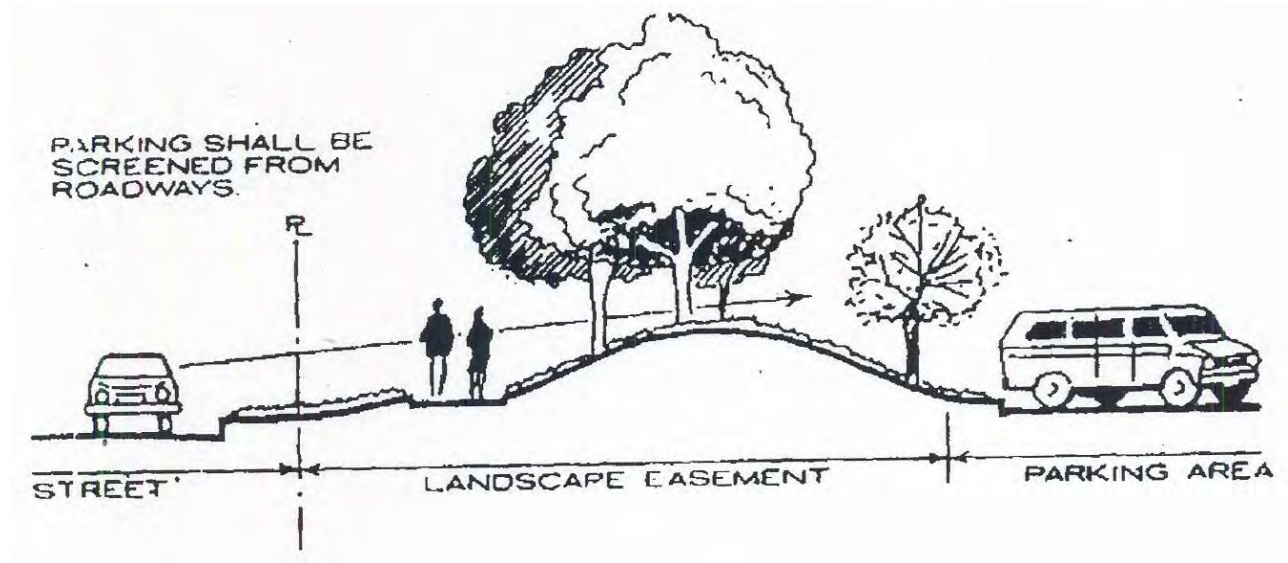
GRASSES			
<i>Common Name</i>	<i>Botanical Name</i>	<i>Mature Height</i>	<i>Mature Width</i>
Indian Ricegrass	<i>Achnatherum hymenoides</i>	1–2 feet	1–2 feet
Sand Bluestem	<i>Andropogon halii</i> var. <i>Hack</i>	1–2 feet	1–3 feet
Side–oats Grama	<i>Bouteloua curtipendula</i>	1–1.5 feet	1–3 feet
Blue Grama	<i>Bouteloua gracilis</i>	1–1.5 feet	1–3 feet
Prairie Sandreed	<i>Calamovilfa longifolia</i>	1.5–5 feet	1–3 feet
Bottlebrush Squirreltail	<i>Elymus elymoides</i>	1–2 feet	1–3 feet
Thickspike Wheatgrass	<i>Elymus lanceolatus dasystachyum</i>	1–4 feet	1–3 feet
Pinegrass	<i>Festuca arizonica</i>	1–2 feet	1–3 feet
Prairie Junegrass	<i>Koeleria macrantha</i>	1–2 feet	1–3 feet
Western Wheatgrass	<i>Pascopyrum smithii</i>	1–3 feet	1–3 feet
Sandberg Bluegrass	<i>Poa secunda</i> (<i>sandbergii</i>)	1–3 feet	1–3 feet
Yellow Indian Grass	<i>Sorghastrum nutans</i>	1–3 feet	1–3 feet
Sand Dropseed	<i>Sporobolus cryptandrus</i>	1–2 feet	1–3 feet
Needle and Thread	<i>Stipa comata</i>	1–2 feet	1–3 feet
Green Needlegrass	<i>Stipa viridula</i>	1–2 feet	1–3 feet

GRASSLIKE SPECIES			
<i>Common Name</i>	<i>Botanical Name</i>	<i>Mature Height</i>	<i>Mature Width</i>
Nebraska Sedge	<i>Carex nebrascensis</i>	1–2 feet	1–3 feet
Black Creeping Sedge	<i>Carex praegracilis</i>	1–2 feet	1–3 feet
Inland Saltgrass	<i>Distichlis spicata</i>	1–2 feet	1–3 feet
Creeping Spikerush	<i>Eleocharis palustris</i>	1–2 feet	1–3 feet
Mannagrass	<i>Glyceria striata</i>	1–3 feet	1–3 feet
Baltic Rush	<i>Juncus balticus</i>	1–2 feet	1–3 feet
Slender Rush	<i>Juncus tenuis</i>	1–2 feet	1–3 feet
Torrey’s Rush	<i>Juncus toreyii</i>	1–2 feet	1–3 feet
Cloaked Bulrush	<i>Scirpus pallidus</i>	1–3 feet	1–3 feet
Three–Square	<i>Scirpus pungens</i>	1–3 feet	1–3 feet
Softstem Bulrush	<i>Scirpus tabernaemontani</i>	1–3 feet	1–3 feet
Prairie Cordgrass	<i>Spartina pectinata</i>	1.5 –5 feet	1–3 feet

(Weld County Code Ordinance 2006–4; Weld County Code Ordinance 2009–8; Weld County Code Ordinance 2010–1)

APPENDIX 26-H

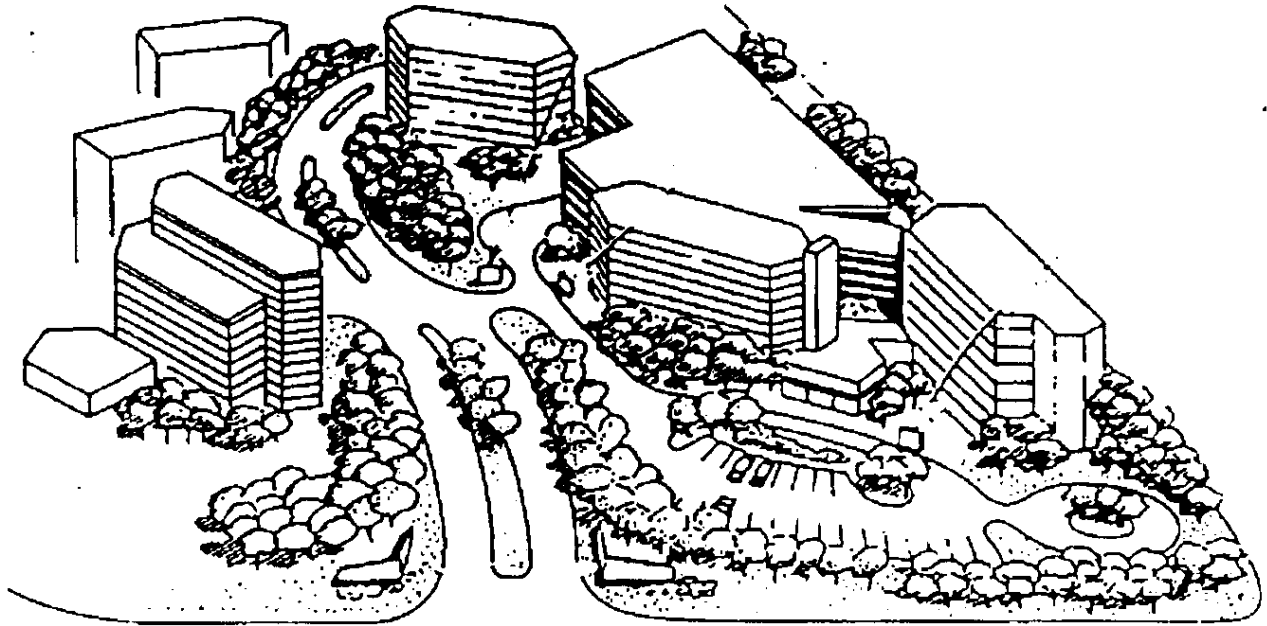
BERMING AND SCREENING PARKING



(Weld County Code Ordinance 2006-4)

APPENDIX 26-I

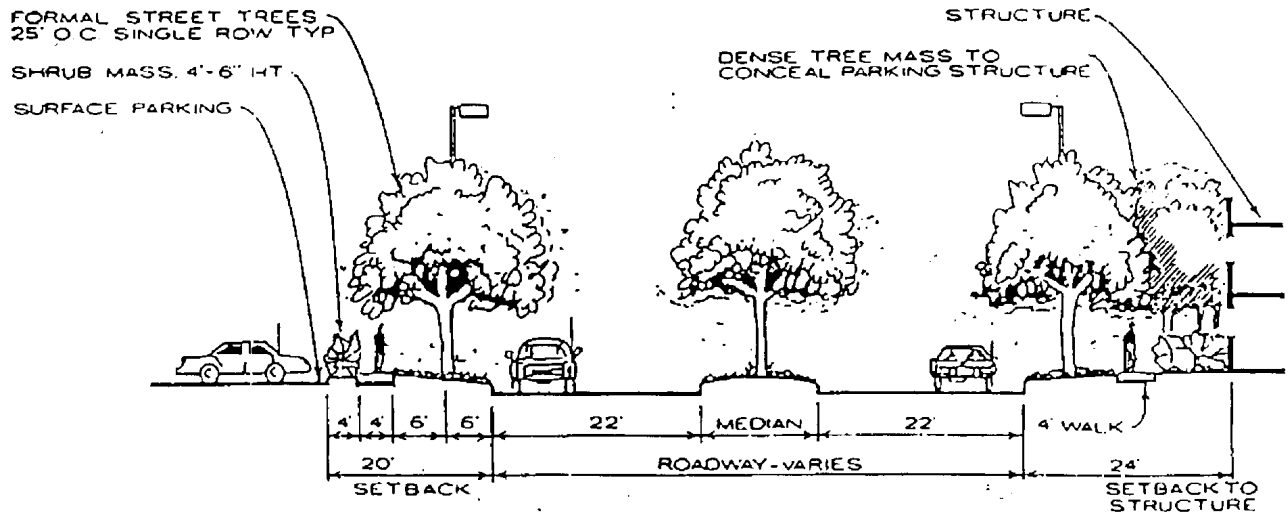
SCREENING PARKING FROM ROADWAYS



(Weld County Code Ordinance 2006-4)

APPENDIX 26-J

SCREENING PARKING AND STRUCTURES

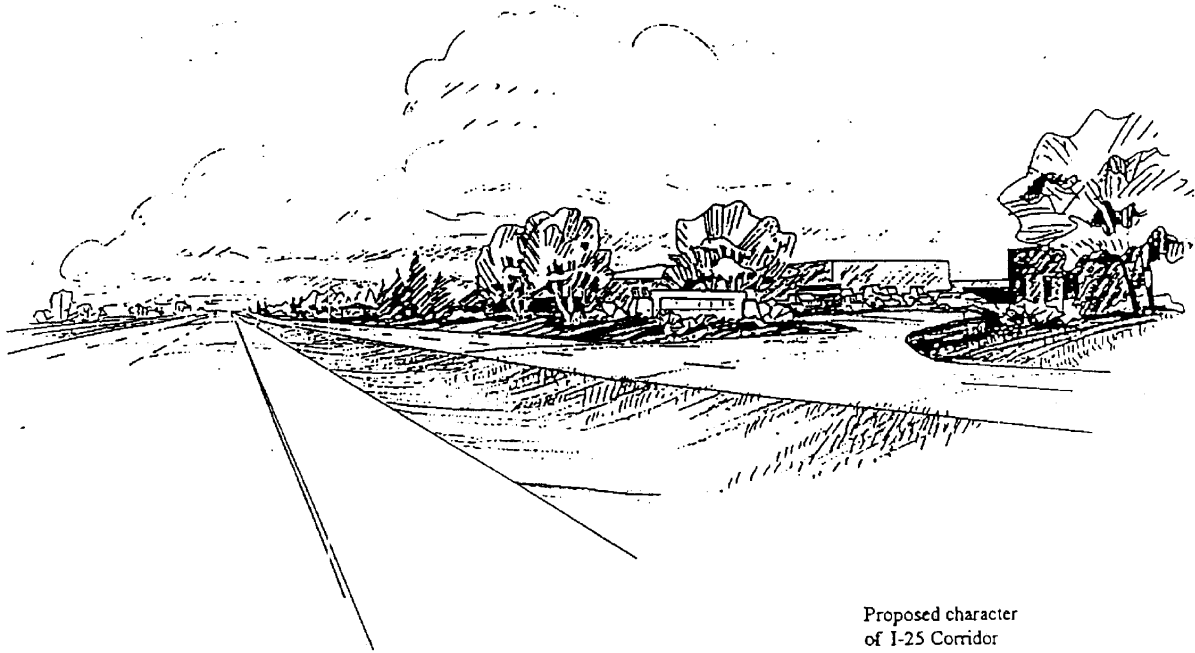


Note: Set streetlights 6 feet from curb in setback.
Setbacks vary in each zone district.
Drawing may not depict accurate setbacks.

(Weld County Code Ordinance 2006-4)

APPENDIX 26-K

I-25 CORRIDOR TREATMENT



Proposed character
of I-25 Corridor

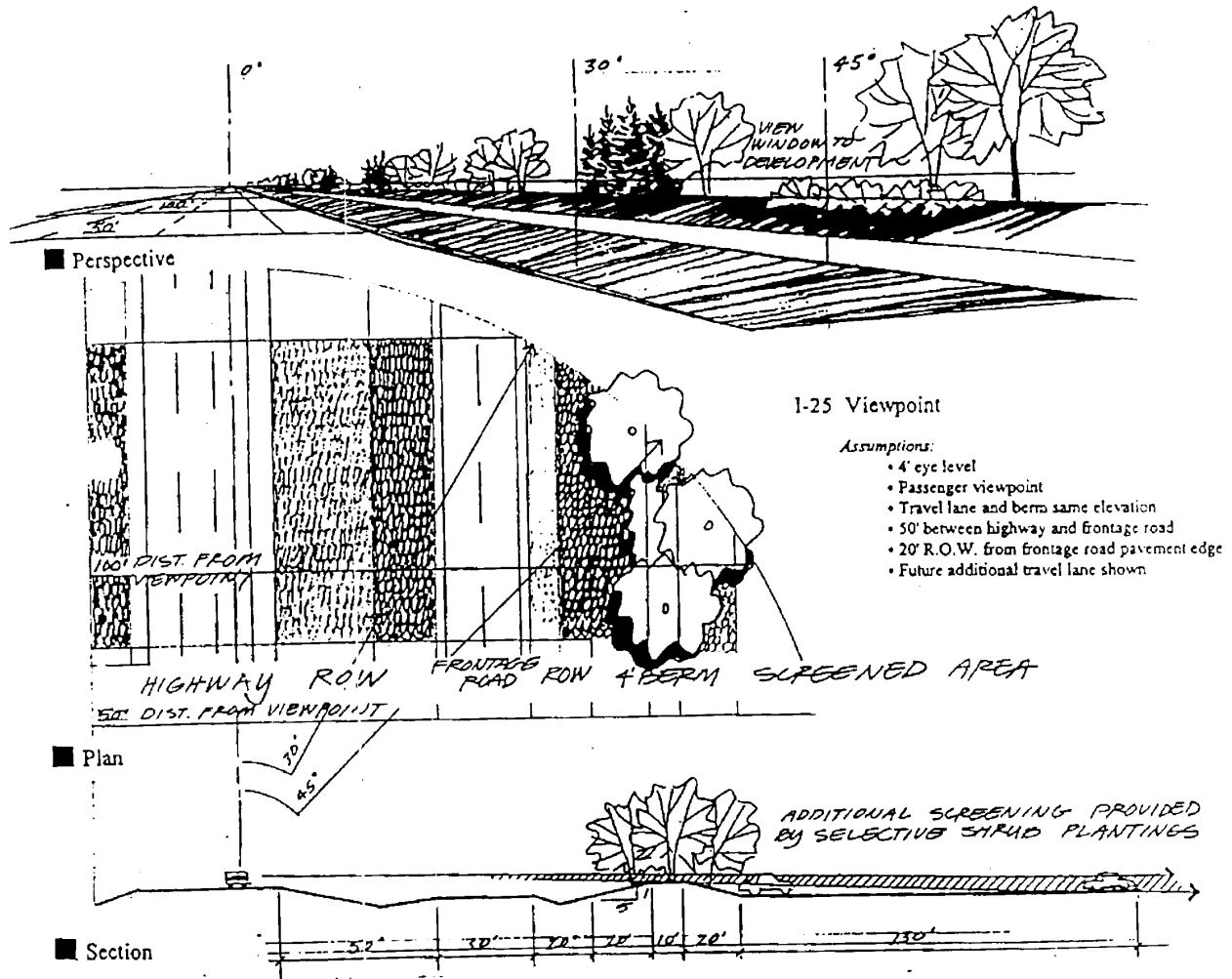


Prototypical development
on I-25 Corridor

(Weld County Code Ordinance 2006-4)

APPENDIX 26-L

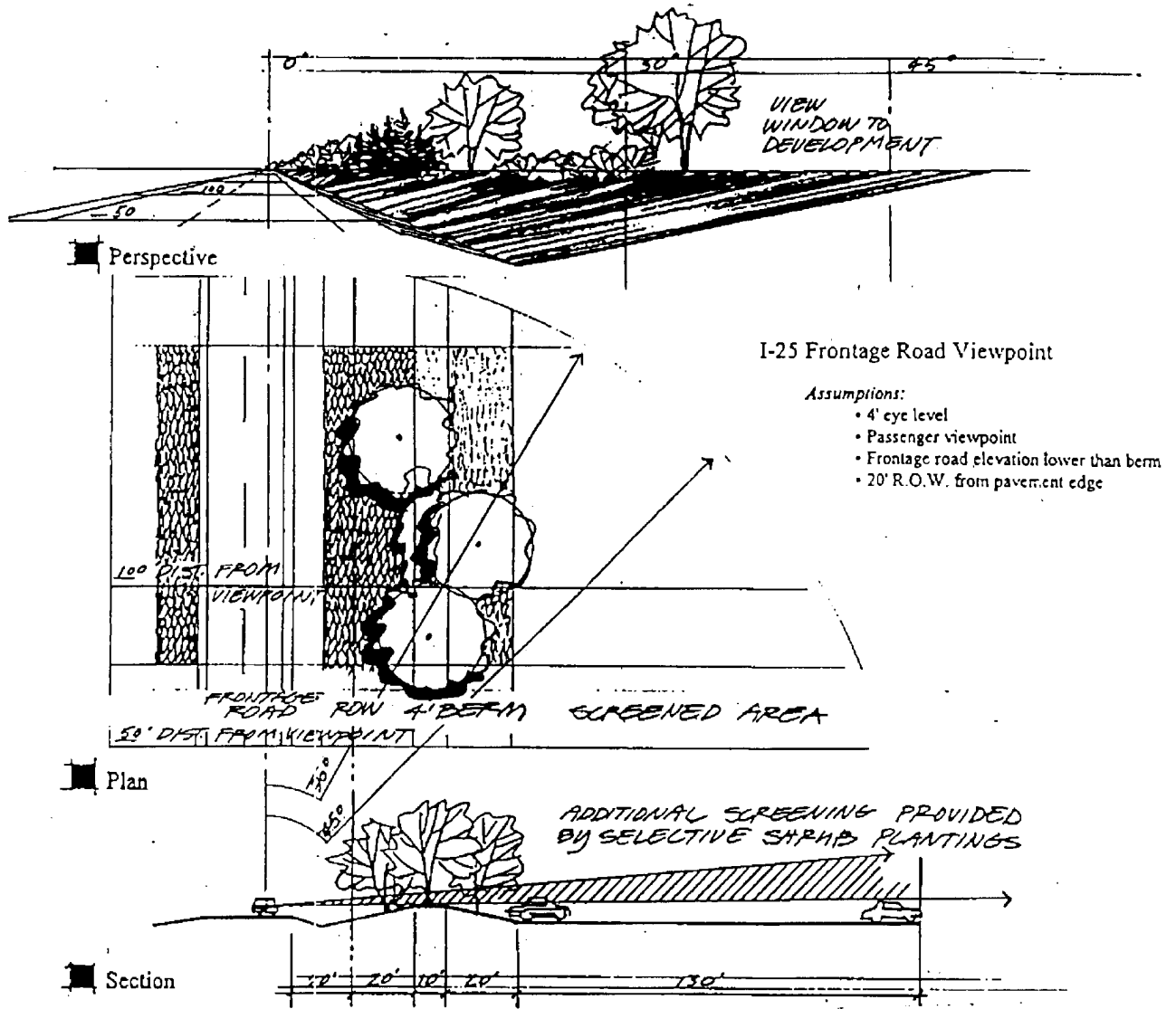
I-25 CORRIDOR TREATMENT TRAVEL LANE VIEWPOINT



(Weld County Code Ordinance 2006-4)

APPENDIX 26-M

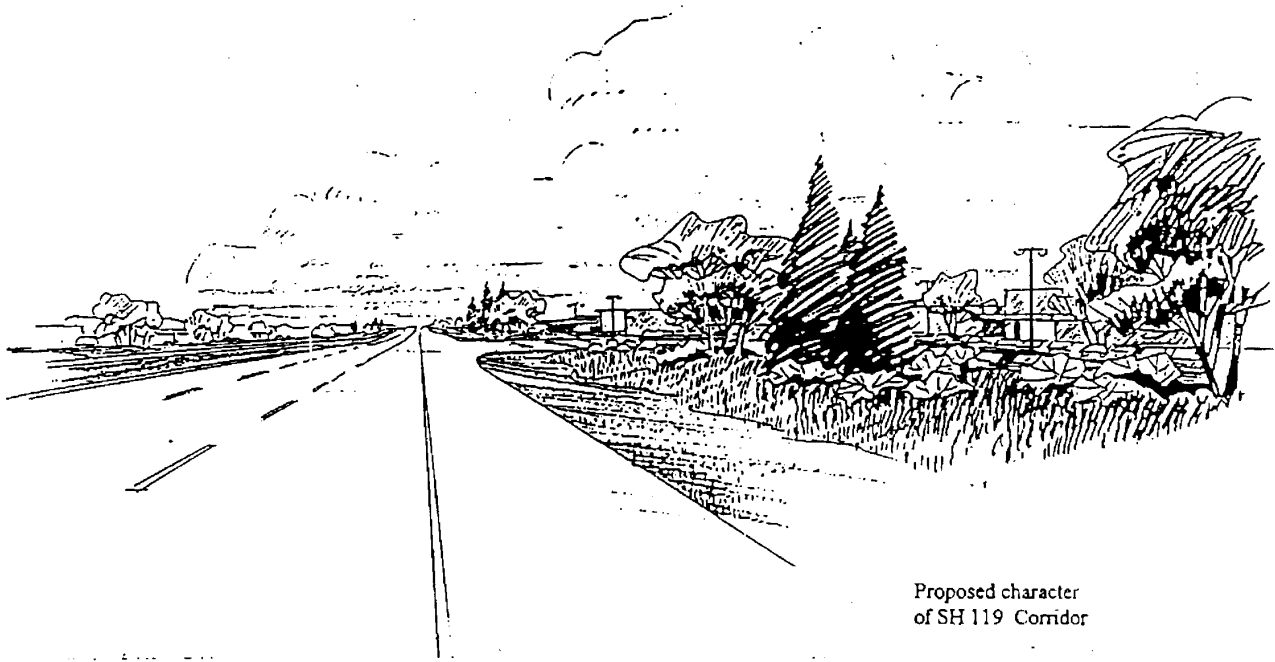
I-25 CORRIDOR TREATMENT FRONTAGE ROAD VIEWPOINT



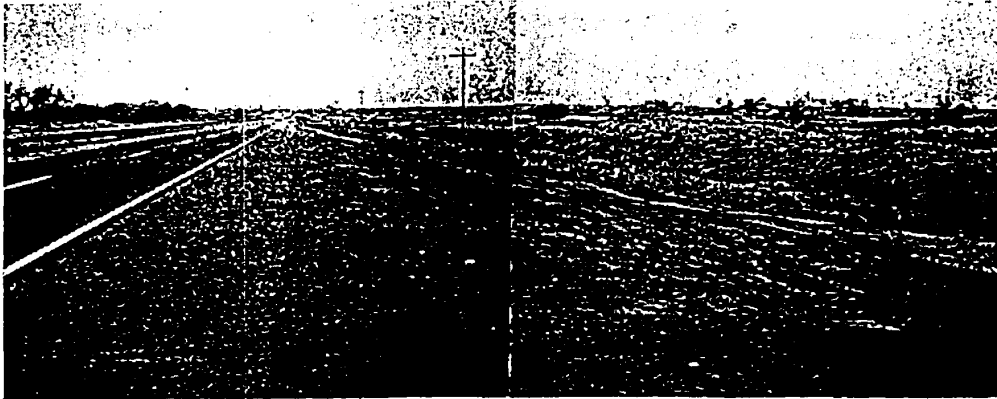
(Weld County Code Ordinance 2006-4)

APPENDIX 26-N

STATE HIGHWAY 119 CORRIDOR TREATMENT



Proposed character
of SH 119 Corridor



Existing conditions
along SH 119

(Weld County Code Ordinance 2006-4)

APPENDIX 26-O

SCHOOL ALLOCATION STANDARDS IN THE RUAS

<i>Type of School</i>	<i>Students/DU</i>	<i>Minimum School Capacity</i>	<i>DU/School</i>	<i>Acres/School</i>
Elementary K-5	0.35	525	1500	10
Middle School 6-8	0.14	750	5200	25
High School 9-12	0.17	1200	7000	40

(School allocation standards in the Southeast Weld RUA to be confirmed with school district.)

Dry Creek RUA School Program

<i>School Program Requirements</i>	<i>K-8</i>	<i>HS</i>
Estimated # of Schools	3	1
Land Area (AC)	60	50
Student Capacity per school	765	1,020
Average Size (AC)	20	50
Min # of Jobs	61	19
Avg # of Jobs	114	36
Max # of Jobs	177	58
Min # of schools	1.55	0.39
Avg # of schools	2.87	0.73
Max # of schools	4.48	1.19

Note: Source Brighton 27j School District, Fort Lupton Weld 8 School District.

(Weld County Code Ordinance 2006-4; Weld County Code Ordinance 2009-8; Weld County Code Ordinance 2010-1)

APPENDIX 26-P

PUD PLAT CERTIFICATES

The following certificate blocks shall appear on the plat (as applicable):

1. Surveying Certificate:

I, _____, a Registered Professional Land Surveyor in the State of Colorado, do hereby certify that the survey represented by this plat was made under my personal supervision and checking. I further certify that the survey and this plat complies with all applicable rules, regulations and laws of the State of Colorado, State Board of Registration for Professional Engineers and Professional Land Surveyors, and Weld County.

By: _____
Registered Land Surveyor Date Colorado Registration #

2. Certificate of Dedication, Ownership and Maintenance:

Know all men by those present that _____ being the Owner, Mortgagee or Lienholder of certain lands in Weld County, Colorado, described as follows: Beginning _____ containing _____ acres, more or less, have by these presents laid out, platted, and subdivided the same into lots, as shown on this plat, under the name and style of _____ and do hereby dedicate to the public, school district, owners and future owners of this PUD (as applicable) all ways, public rights-of-way, easements, parks and open space, and other public rights-of-way, easements, parks and open space, and other public rights-of-way and easements for purposes shown hereon.

Executed this _____ day of _____ A.D., 20 _____.

(Typed name of signature for Owner, Mortgagee, or Lienholder)

State of Colorado)
) ss.
County of Weld)

The foregoing certification was acknowledged before me this _____ day of _____, 20 _____.

My commission expires _____.

Witness my hand and Seal.

Notary Public

3. Property Owner's Certificate:

I (We), the undersigned, being the sole owners in fee of the above described property, do hereby subdivide the same as shown on the attached map. I (We) understand that this property is located in the _____ (fill in the correct zone district) zone district and is also intended to provide areas for the conduct of other uses by right, accessory uses and uses by special review.

(Signature)

Typed or printed name

(Signature)

Typed or printed name

State of Colorado)
) ss.
County of Weld)

The foregoing certification was acknowledged before me this _____ day of _____, 20 _____.

My commission expires _____.

Witness my hand and Seal.

Notary Public

4. Certificate of Approval by the Board of County Commissioners:

This plat is accepted and approved by the Board of County Commissioners of Weld County, State of Colorado.

Witness my hand and the corporate seal of Weld County this ____ day of _____ A.D., 20 ____.

Chair, Board of County Commissioners

ATTEST:

Weld County Clerk to the Board

By: _____
Deputy Clerk to the Board

Date

5. Certificate of Approval by Planning Commission:

This is to certify that the Weld County Planning Commission does hereby recommend to the Board of County Commissioners, Weld County, Colorado, for their confirmation, approval and adoption the plat as shown and described hereon this ____ day of _____ A.D., 20 ____.

Chair, Weld County Planning Commission

6. Certificate of Approval by the Department of Planning Services:

This plat is accepted and approved for filing.

Director, Department of Planning Services

State of Colorado)
) ss.
County of Weld)

The foregoing certification was acknowledged before me this ____ day of _____, 20 ____.

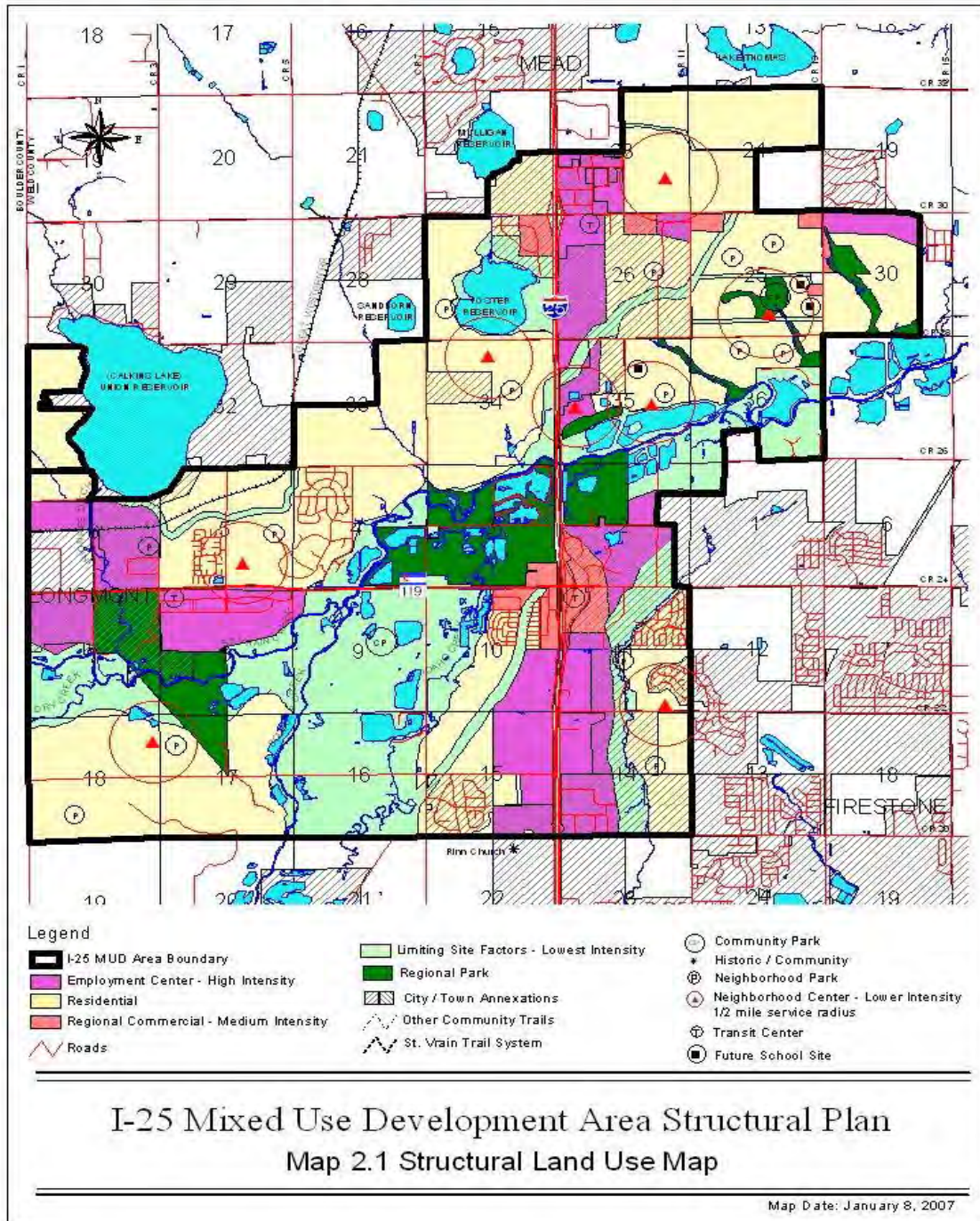
My commission expires _____.

Witness my hand and Seal.

Notary Public

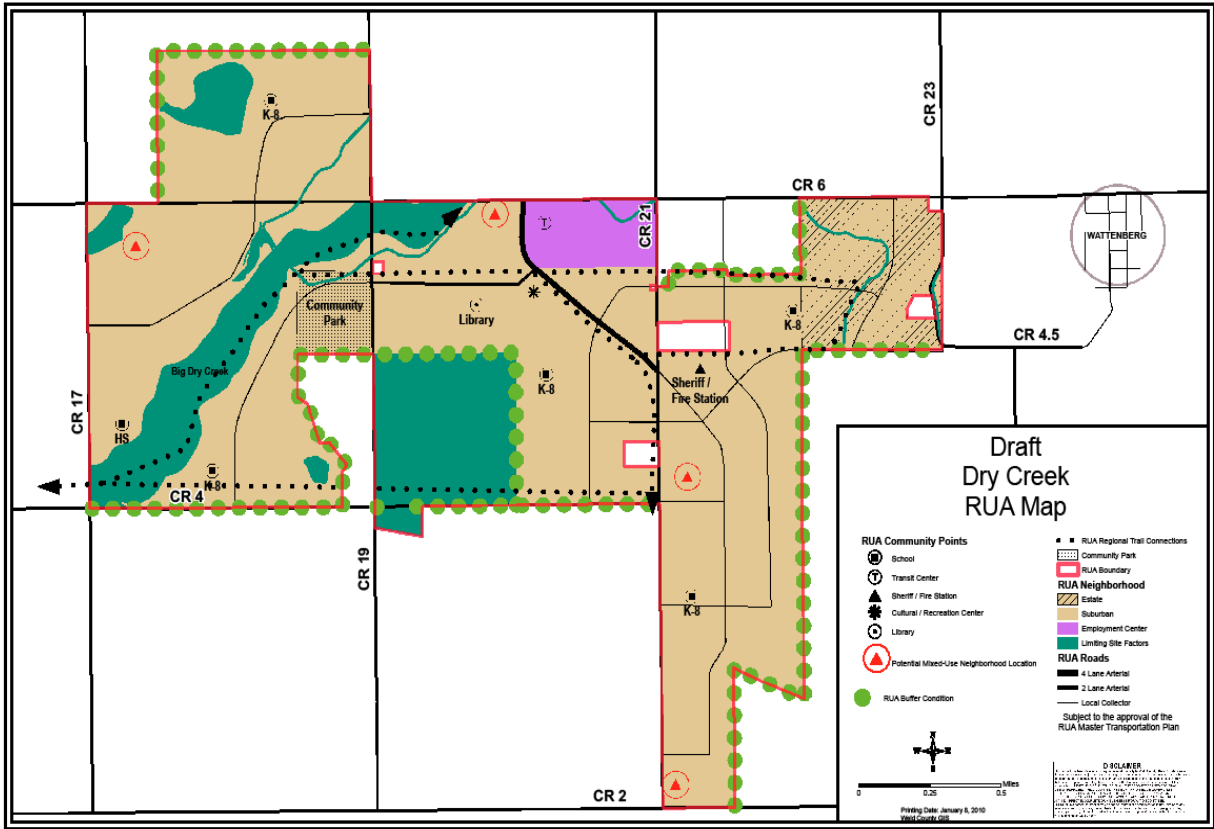
(Weld County Code Ordinance 2002-9; Weld County Code Ordinance 2006-4)

APPENDIX 26-Q
I-25 Regional Urbanization Area Structural Plan
Map 2.1, Structural Land Use Map



(Weld County Code Ordinance 2006-9; Weld County Code Ordinance 2009-8)

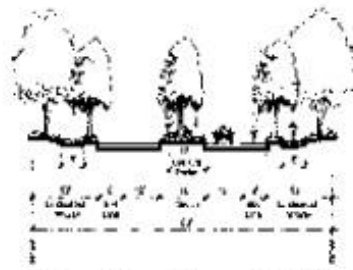
APPENDIX 26-S Dry Creek RUA Map



(Weld County Code Ordinance 2010-1)

APPENDIX 26-T

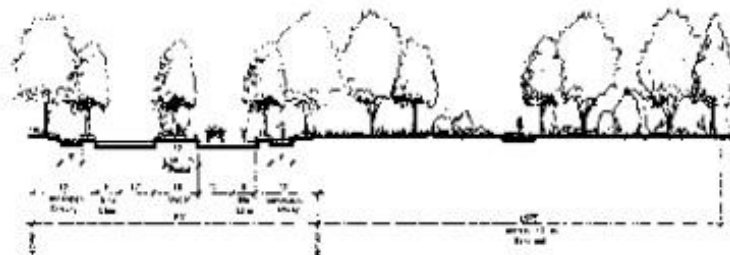
Dry Creek RUA Street Sections



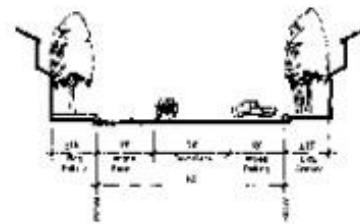
2 Lane Urban Collector - 80' ROW



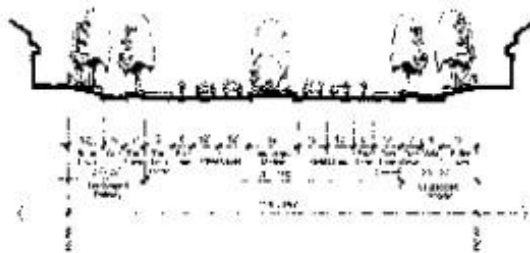
Local Residential - 60' ROW



2 Lane Urban Collector w/ Adjacent Utility Easement
80' ROW w/ ±175' Expanded Parkway



Local Commercial - 60' ROW



4 Lane Urban Arterial - 126' - 150' ROW

(Weld County Code Ordinance 2010-1)